



SIDNEY VILLAGE HALL STUDY

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This project evaluates the former school site for the feasibility of a new Village Hall and associated infrastructure. The intention is to utilize this facility for public officials' offices, public meetings, banquets, and other special events with ability to have space for 100 people. Since the Village of Sidney is unsewered, it will be necessary to construct an onsite private sewage disposal system to accommodate wastewater discharged from the proposed village hall. In planning such a system, there are a number of criteria to assess in order to determine the best type of system to use. In Illinois, non-discharging systems are strongly preferred over discharging systems by regulating agencies. Therefore, for the purpose of this study, use of a non-discharging system is assumed. The following design information is based upon the Illinois 2013 Private Sewage Disposal Act and Code.

Design Flow

The proposed Village Hall shall be designed to accommodate 3 full time employees and a maximum of 100 people in attendance at any given time for meetings or other public assemblies. The design flow is computed as:

$$\begin{array}{r}
 15 \text{ g/person/day} \times 3 \text{ employees} = \quad \quad \quad 45 \text{ gallons/day} \\
 5 \text{ gallons/person/day} \times 100 \text{ people} = \quad \quad \quad + \quad \quad \quad 500 \text{ gallons/day} \\
 \hline
 \text{TOTAL DESIGN FLOW} = \quad \quad \quad 545 \text{ gallons/day}
 \end{array}$$

Based upon conversations with Tim Flanagan of the Champaign County Public Health Department, this method of determining a design flow is satisfactory to the County.

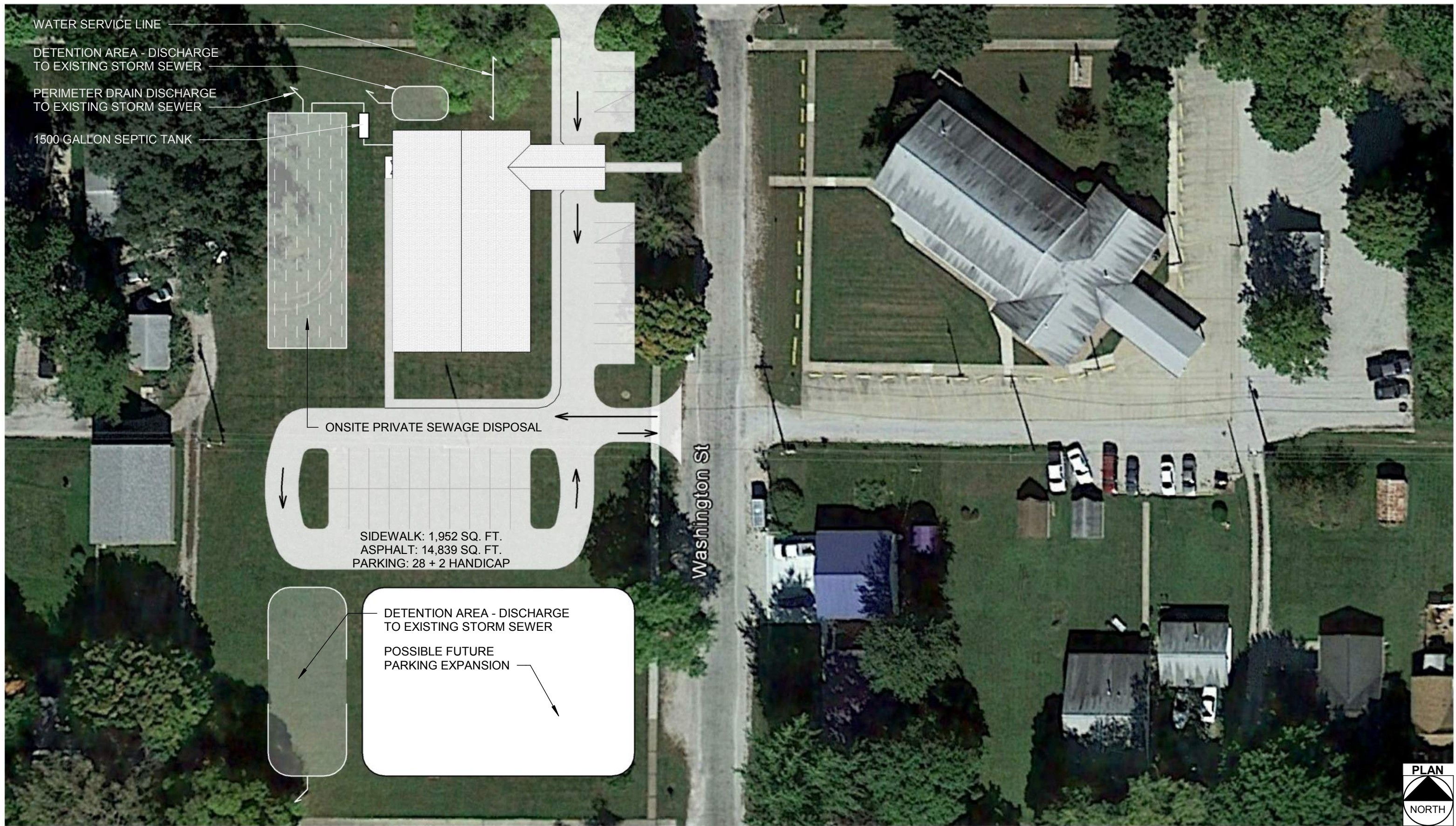
Farnsworth Group offers the following design summary for the proposed building programmatic spaces, site infrastructure and improvements, and any assumptions used for basis of design:

BUILDING

- 3 offices: ESDA, Mayor, and Clerk
- Assembly for at least 100 persons
- Kitchen
- Storage Room (approximately 20' by 20')
- Mechanical Room
- Restrooms
- Janitor Closet
- Porte-cochere for covered drop-off at entry
- Wood frame construction; Masonry and Vinyl Siding exterior; Asphalt Shingle roof

SITE

- Base bid assumes 3" HMA
- Alternate bid assumes tar and chip
- 28 striped parking spaces plus an additional 2 handicap accessible spaces
- Sidewalk improvements to the facility
- Detention areas for storm water run off
- Sanitary Sewer Design flow: 545 gallons/day
- Septic Tank Required: Minimum: 1000 gallons; Recommended-1500 gallons
- Soil Loading Rate: 0.45 gallons/square foot/day
- Minimum seepage field required: 1212 square feet
- Trench Material: Infiltrator Equalizer Quick4 Low Profile, provides 5 sq. ft. per lineal foot
- Material needed/Trench Length: 255 lineal feet
- Perimeter Drain: 280 lineal feet of perforated drain tile with clean granular backfill
- Labor: Prevailing Wage for Champaign County



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SITE PLAN

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AREA SQUARE FOOTAGES		
Number	Name	Area
100	ENTRY	180 SF
101	CORRIDOR	712 SF
102	SITTING AREA	92 SF
103	OFFICE	140 SF
104	OFFICE	140 SF
105	JANITOR	90 SF
106	OFFICE	178 SF
107	MECHANICAL	298 SF
108	MEN	233 SF
109	WOMEN	233 SF
110	STORAGE	460 SF
111	KITCHEN	272 SF
112	ASSEMBLY	2257 SF
TOTAL NET SF		5285 SF
TOTAL GROSS SF		5801 SF

EXTERIOR WALLS:

- GYPSUM WALL BOARD INTERIOR - PAINTED
- 2X6 WOOD FRAMING
- INSULATION
- 3'-0" MASONRY WAINSCOT WITH PRECAST SILL
- VINYL SIDING
- CONTINUOUS RIGID INSULATION

INTERIOR WALLS:

- GYPSUM WALL BOARD - PAINTED
- 2X4 WOOD FRAMING

FINISHES:

- ENHANCED VINYL TILE
- CARPET
- GYPSUM CEILING

ROOF:

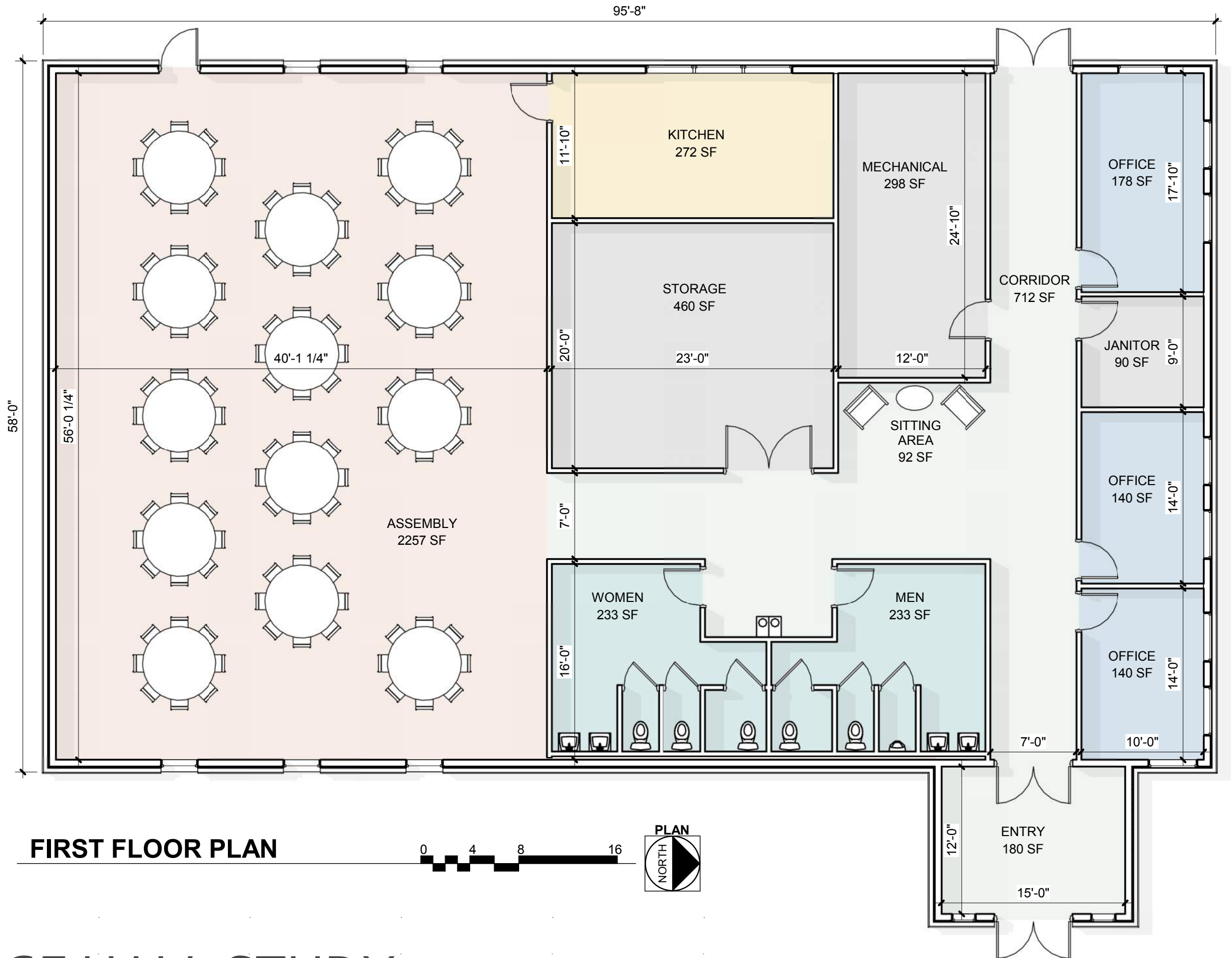
- WOOD TRUSSES
- SHEATHING
- ROOFING FELT
- ASPHALT SHINGLES
- ATTIC INSULATION

OPENINGS:

- ALUMINUM INSULATED WINDOWS
- INSULATED GLAZED ALUMINUM MAIN ENTRY DOORS
- HOLLOW METAL DOORS AND FRAMES EXTERIOR
- WOOD DOORS AND HOLLOW METAL FRAMERS INTERIOR

BUILDING SYSTEMS:

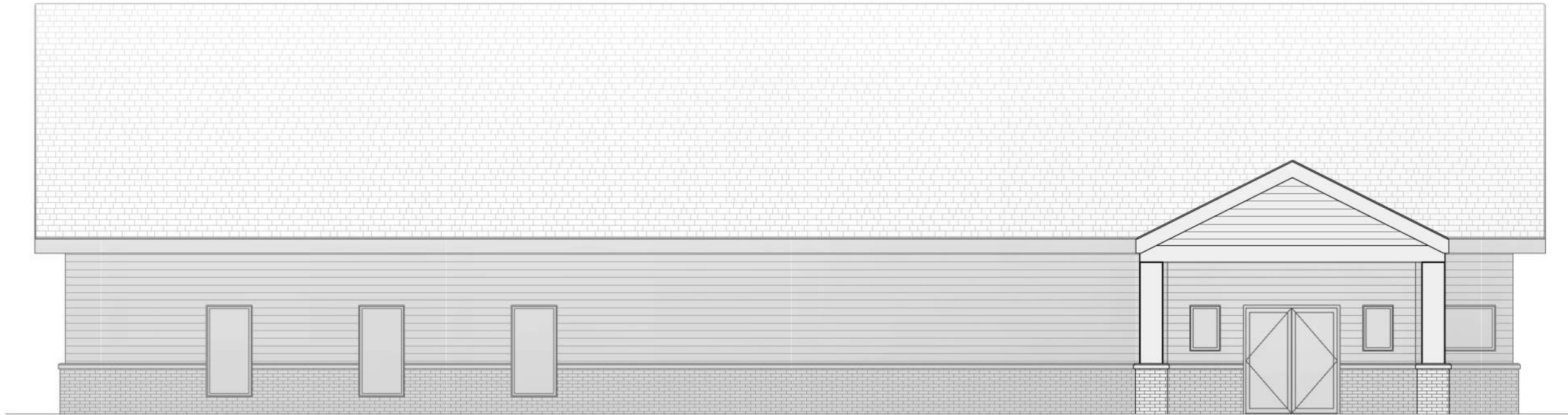
- NATURAL GAS FORCED AIR SPLIT SYSTEM - MULTI-UNIT
- 200 AMP, SINGLE PHASE ELECTRICAL SERVICE



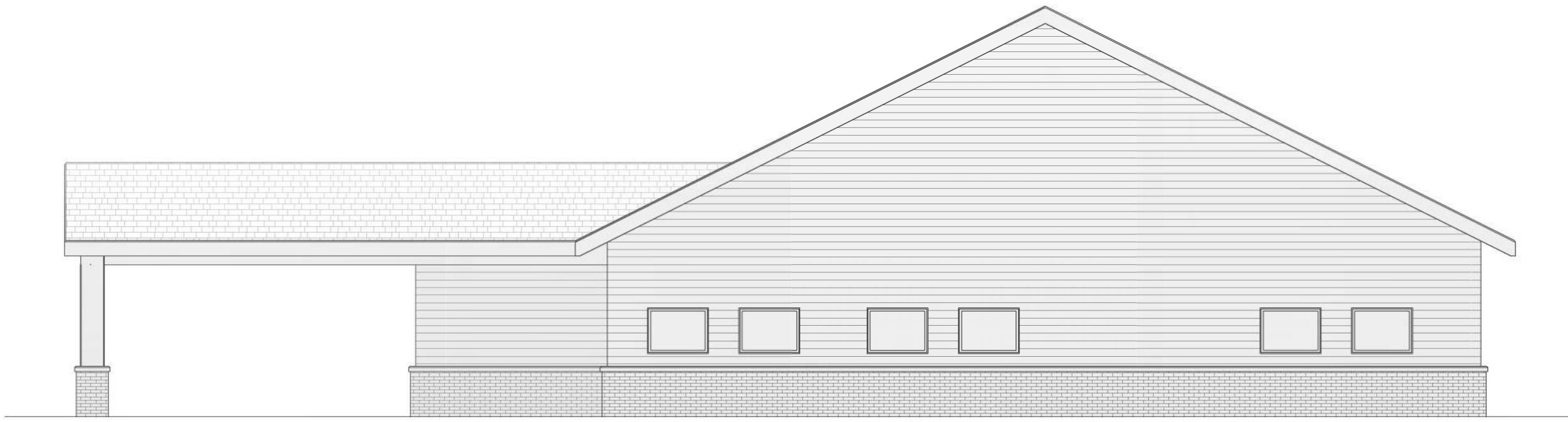
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PROPOSED FLOOR PLAN

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EAST ELEVATION

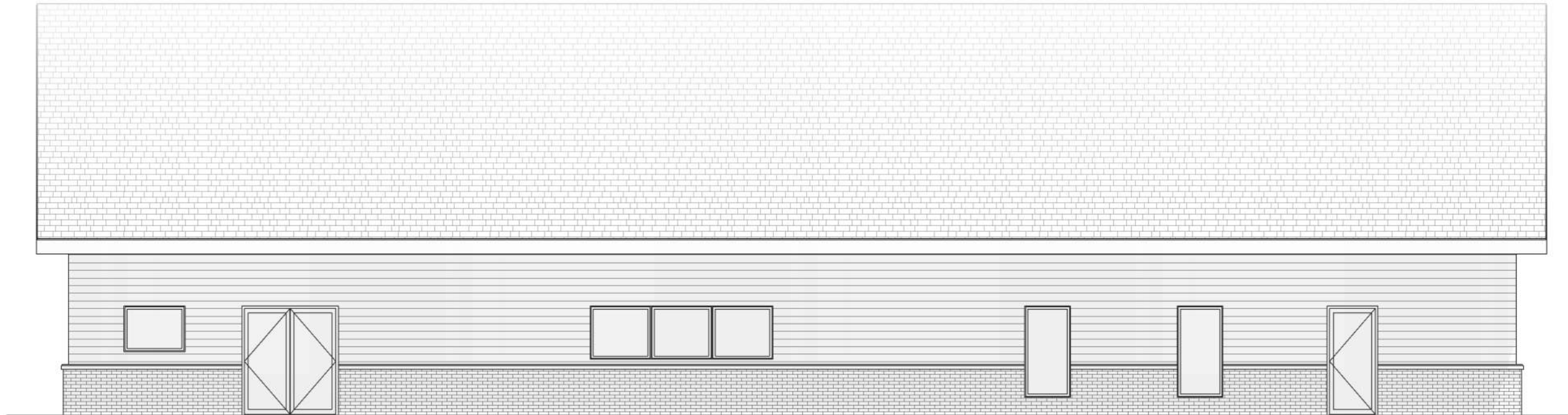


NORTH ELEVATION

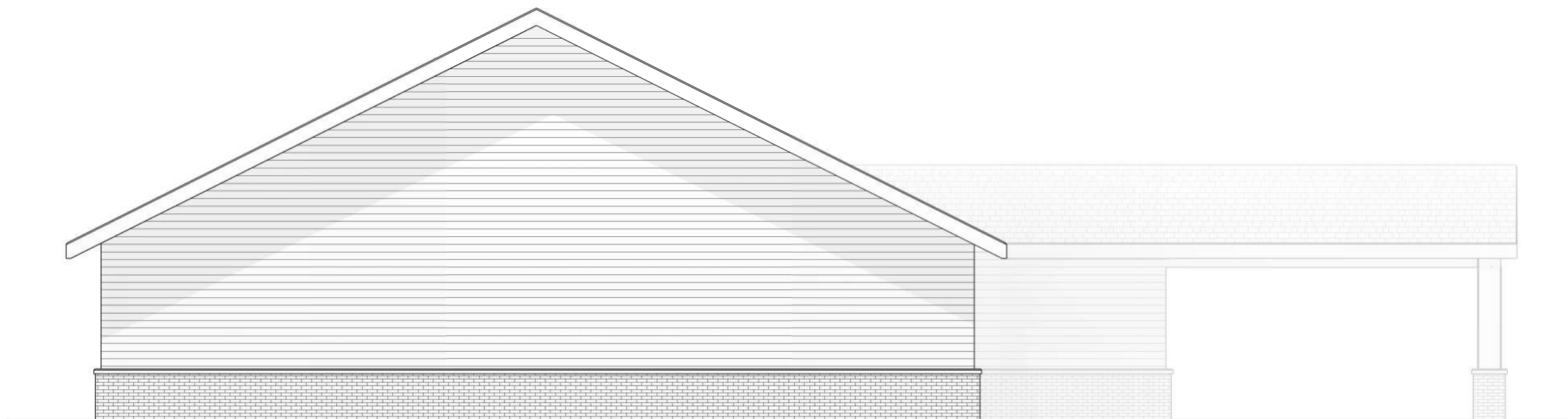
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BUILDING ELEVATIONS

January 7, 2019



WEST ELEVATION



SOUTH ELEVATION

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BUILDING ELEVATIONS

January 7, 2019



Cost Opinion Executive Summary

Project Name: Sidney Village Hall Study
 Project Number: 0181851.00
 Date: 1/7/2019
 Square Footage: New Construction 5,801 SF

		Cost per SQ. FT.
A. Demolition		
EXCAVATION		\$ 3.00
B. Substructure		
SLAB ON GRADE		\$ 5.87
FOOTINGS AND FOUNDATIONS		\$ 7.22
C. Shell		
WOOD TRUSSES AND SHEATHING		\$ 3.00
SHINGLES ON FELT		\$ 5.00
ATTIC INSULATION		\$ 1.89
ALUMINUM WINDOWS		\$ 2.50
EXTERIOR DOORS		\$ 4.50
EXTERIOR WALL - BRICK BASE, VINYL SIDING ABOVE		\$ 10.50
D. Interiors		
WOOD STUD PARTITIONS		\$ 6.64
INTERIOR DOORS		\$ 1.25
DOOR HARDWARE		\$ 1.50
TOILET PARTITIONS		\$ 1.82
INTERIOR PAINT		\$ 2.80
FLOOR FINISHES		\$ 6.00
CEILING FINISHES		\$ 4.91
CASEWORK		\$ 2.48
E. Services		
PLUMBING		\$ 3.80
DOMESTIC WATER DISTRIBUTION		\$ 11.14
FLASHING AND TRIM		\$ 1.00
HVAC		\$ 10.50
ELECTRICAL SERVICE DISTRIBUTION		\$ 3.94
LIGHTING		\$ 6.41
COMMUNICATIONS AND SECURITY		\$ 1.60
F. Equipment and Furnishings		
KITCHEN EQUIPMENT		\$ 1.72
Preliminary Building Cost per SQ. FT.		\$ 110.99
Location Factor		4%
Building Estimate	5,801 SF	\$ 669,607.11

*Please note that this estimate does not include the following:
 Permits, on-site testing, fixture, furnishings & equipment (FF&E), IT wiring and termination devices, fire protection, tree removal, construction layout / staking, subgrade improvement.*

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ENGINEERS | ARCHITECTS | SURVEYORS | SCIENTISTS

				BASE BID (HMA PAVEMENT)	ALTERNATE (OIL & CHIP PAVEMENT)
Site Improvement Cost Estimate (ASPHALT PAVEMENT ~ \$36/SY)					
	PCC SIDEWALK, 4"	1952 SF	\$ 6.00	\$ 11,712.00	\$ 11,712.00
	AGG BASE COURSE, TY. B	805 TON	\$ 40.00	\$ 32,200.00	\$ 32,200.00
*Base Bid	HMA SURFACE COURSE, 3"	280 TON	\$ 105.00	\$ 29,400.00	\$ -
*Alternate	A-3 BITUMINOUS SURFACE	1650 SY	\$ 5.40	\$ -	\$ 8,910.00
	PAVEMENT MARKINGS	1 LS	\$ 2,500.00	\$ 2,500.00	\$ 2,500.00
	WATER SERVICE	1 LS	\$ 750.00	\$ 750.00	\$ 750.00
	GAS SERVICE	1 LS	\$ 1,000.00	\$ 1,000.00	\$ 1,000.00
	ELECTRIC SERVICE	1 LS	\$ 6,500.00	\$ 6,500.00	\$ 6,500.00
	PRIVATE WASTEWATER DISPOSAL SYSTEM	1 LS	\$ 22,000.00	\$ 22,000.00	\$ 22,000.00
	STORMWATER ALLOWANCE	1 LS	\$ 4,000.00	\$ 4,000.00	\$ 4,000.00
	SEEDING ALLOWANCE	1 LS	\$ 2,500.00	\$ 2,500.00	\$ 2,500.00
Site Estimate				\$ 112,562.00	\$ 92,072.00
Overall Construction Cost Estimates					
	BUILDING			\$ 669,607.11	
	SITE IMPROVEMENT			\$ 112,562.00	\$ 92,072.00
Combined Estimate (Building & Site)				\$ 782,169.11	\$ 761,679.11
	Contractor Fees	25%		\$ 195,542.28	\$ 190,419.78
	Contingency	12%		\$ 93,860.29	\$ 91,401.49
Total Construction Estimate				\$ 1,071,571.68	\$ 1,043,500.38
Professional Services					
	DESIGN FEE	8%		\$ 85,725.73	\$ 83,480.03
Total Project Cost Estimate				\$ 1,157,297.41	\$ 1,126,980.41
<i>Please note that this estimate does not include the following: Permits, on-site testing, fixture, furnishings & equipment (FF&E), IT wiring and termination devices, fire protection, tree removal, construction layout / staking, subgrade improvement, domestic water treatment equipment.</i>					
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SIDNEY VILLAGE HALL STUDY COST OPINIONS

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